



# Notice of a Committee of Adjustment Hearing for Minor Variance Application

|                             |                                                             |
|-----------------------------|-------------------------------------------------------------|
| <b>File No:</b>             | A/07/24                                                     |
| <b>Applicant/Owner:</b>     | Mike Konopacki Rentals                                      |
| <b>Address of Property:</b> | 8 Thompson Rd. (Sunderland)<br>Part of Lot 12, Concession 5 |

## **Purpose and Effect of the Application**

A Minor Variance application has been submitted requesting relief from Section 9.20.3 (Provisions for Special Zone Categories) of Zoning By-Law 287-78-PL (as amended) to reduce the rear yard setback from 30m to 15m on Part 4 of Plan 40R-5123. The proposed variance is intended to facilitate the construction of an expansion of the existing industrial building.

## **Virtual Committee of Adjustment Hearing**

The Committee of Adjustment hearing will be a virtual meeting to provide interested parties the opportunity to learn more about the application and make comments before a decision is made on the application.

The virtual meeting will be held on:

**May 21, 2024 at 7:00 p.m.**

**Residents can participate electronically or by telephone.**

If you wish to participate electronically or by telephone in the Committee of Adjustment virtual meeting, please email [planning@brock.ca](mailto:planning@brock.ca) by noon on May 21 to request the virtual meeting link and/or call-in information, noting the application number and meeting date.

Please note that the meeting is scheduled to begin at 7:00pm. You should be present at that time if you wish to address the Committee. Please be advised that if you join the meeting after 7:00pm this application may have already been heard and a decision rendered.



**Written comments** can be emailed to [planning@brock.ca](mailto:planning@brock.ca) or mailed or dropped off at the Municipal Office at 1 Cameron Street East, Cannington, ON L0E 1E0. All written comments need to be received by noon on **May 21, 2024** to be provided to the Committee Members to help inform their decision. All comments received will be made available to any interested person for inspection (Statutory Powers Procedure Act).

For **additional information** regarding this application or if you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed application, you must make a written request to:

**Robin Prentice, Director of Development Services**  
**1 Cameron Street East, Cannington ON L0E 1E0**  
**705-432-2355 ext.235 [robin.prentice@brock.ca](mailto:robin.prentice@brock.ca)**

Please include your name, complete mailing address and/or email address. Additional information is also available between the hours of 8:30 a.m. to 4:30 p.m., Monday to Friday, at the Municipal Office, 1 Cameron Street East, Cannington.

If you have accessibility needs and require alternate formats of this document or other accommodations, please contact the Township Clerk's department at 705-432-2355.

If you do not attend this public hearing, it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceeding.

The **notice of decision** will be sent no later than 10 days from the date of the decision to the applicant, each person who appeared at the hearing and to anyone who filed a written request for notice of the decision with the Secretary-Treasurer. Submission of a written request to be notified of the decision will also entitle you to receive written notice if the decision is appealed to the Ontario Land Tribunal.

Personal information collected pursuant to the Planning Act will be used for the purposes of that Act.

Dated April 30, 2024

## Key Map

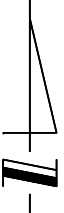


Data Sources: 2022 Orthography, First Base Solutions Inc., Regional Municipality of Durham, 2023 All rights reserved. May not be reproduced without permission. This is not a Plan of Survey.  
DISCLAIMER - This map has been produced from a variety of sources. The Region of Durham and Township of Brock do not make any representations concerning the accuracy, likely results, or reliability of the use of the materials. The Region and Township hereby disclaims all representations and warranties.



**SITE PLAN (# 8 THOMPSON ROAD)**  
 ON PART OF LOT 12, CONCESSION 5,  
 GEOGRAPHIC TOWNSHIP OF BROCK, COUNTY OF ONTARIO,  
 NOW IN THE  
**TOWNSHIP OF BROCK**  
 REGIONAL MUNICIPALITY OF DURHAM  
 SCALE 1 : 500 METRES

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

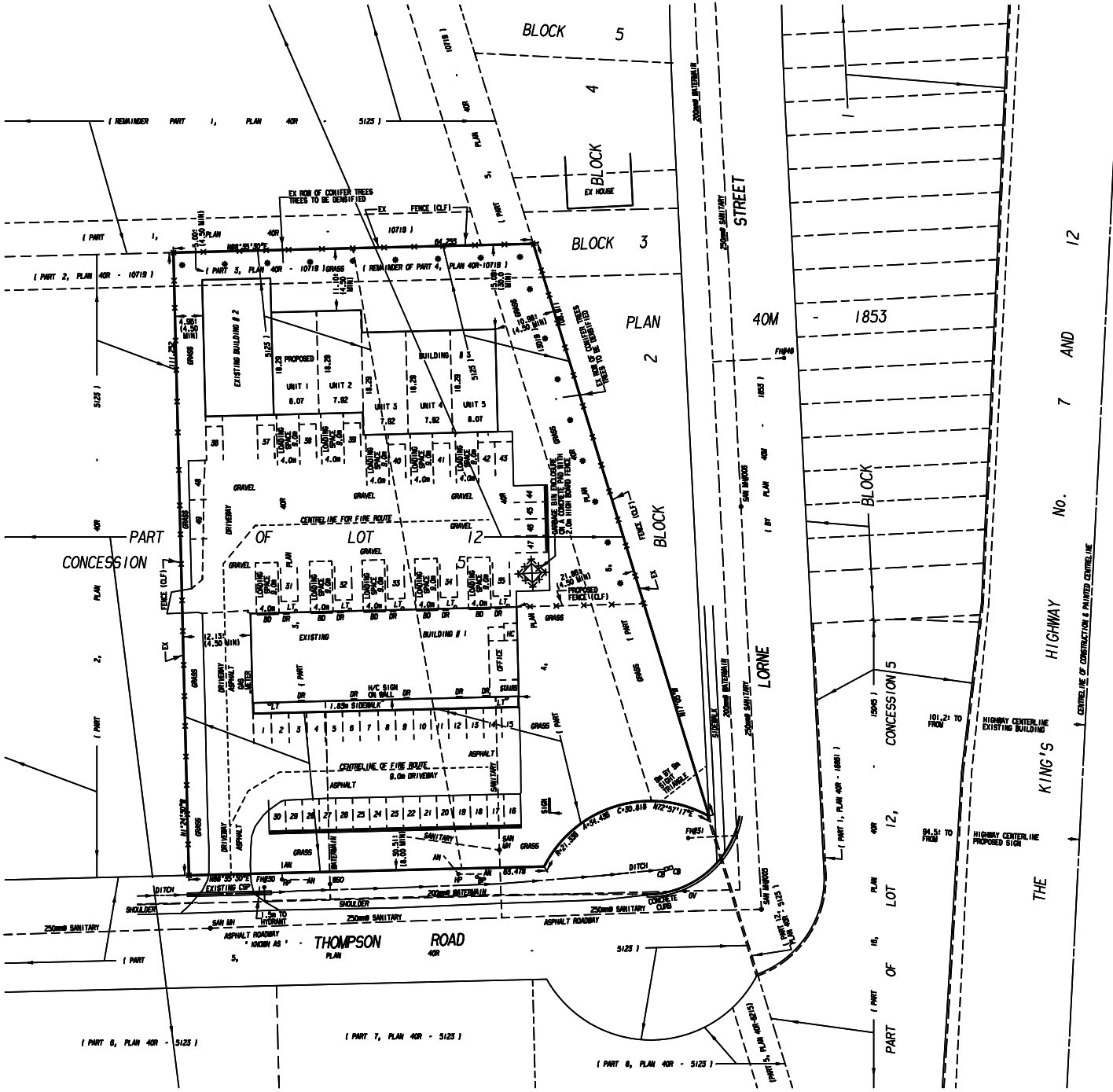


- SITE STATISTICS.**
- LOT AREA = 8,611 SQ.M.
  - BUILDING # 1 AREA = 759.6 SQ.M.
  - BUILDING # 2 AREA = 297.3 SQ.M.
  - PR BUILDING # 3 AREA = 745.6 SQ.M.
  - BUILDING LOT COVERAGE = 20.5% (50% MAXIMUM)
  - LANDSCAPED OPEN SPACE AREA = 33.6% (30% MINIMUM)
  - 49 PARKING SPACES. ( 1 SPACE PER 37 SQUARE METRES )
  - EXISTING ZONING IS M1-3.
  - MUNICIPAL WATER SYSTEM AND WASTE DISPOSAL SYSTEM.

- LEGEND.**
- > DIRECTION OF SURFACE FLOWS AND/OR SMOALES.
  - HP - DENOTES HYDRO POLE.
  - FH - DENOTES FIRE HYDRANT.
  - AN - DENOTES ANCHORS.
  - BP - DENOTES BELL PEDESTAL.
  - CB - DENOTES CATCHBASIN.
  - SLOPE - DENOTES 3 TO 1 SLOPES
  - R - DENOTES RADIUS
  - \*-\*-\* - DENOTES 1.8m HIGH CHAIN LINK FENCE
  - CSP - CORRUGATED STEEL PIPE
  - LT - DENOTES LIGHTS ( ATTACHED TO BUILDING )
  - PARKING SPACES ARE 3.0m BY 6.0m UNLESS OTHERWISE NOTED.
  - --- DENOTES CONCRETE CURB STOP
  - H/C - DENOTES HANDI-CAP PARKING SPACE.
  - --- DENOTES PROPOSED TREE.
  - PARKING SPACES ARE 3.0m BY 6.0m UNLESS OTHERWISE NOTED.
  - H/C - DENOTES HANDI-CAP PARKING SPACE.
  - GV - DENOTES GATE VALVE.
  - DR - DENOTES MAN DOOR.
  - BD - DENOTES ROLL-UP DOOR.
  - INV - DENOTES INVERT.
  - CLF - DENOTES CHAIN LINK FENCE.

MARCH 6, 2024  
 REVISED APRIL 12, 2024

H. F. GRANDER Co. Ltd.  
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CADD FILE: 849-SP-1.DPD  
 PROJECT No. 849-SP